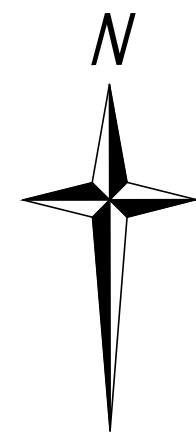
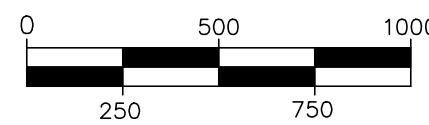


VICINITY MAP
N.T.S.
SOURCE: TXDOT GIS



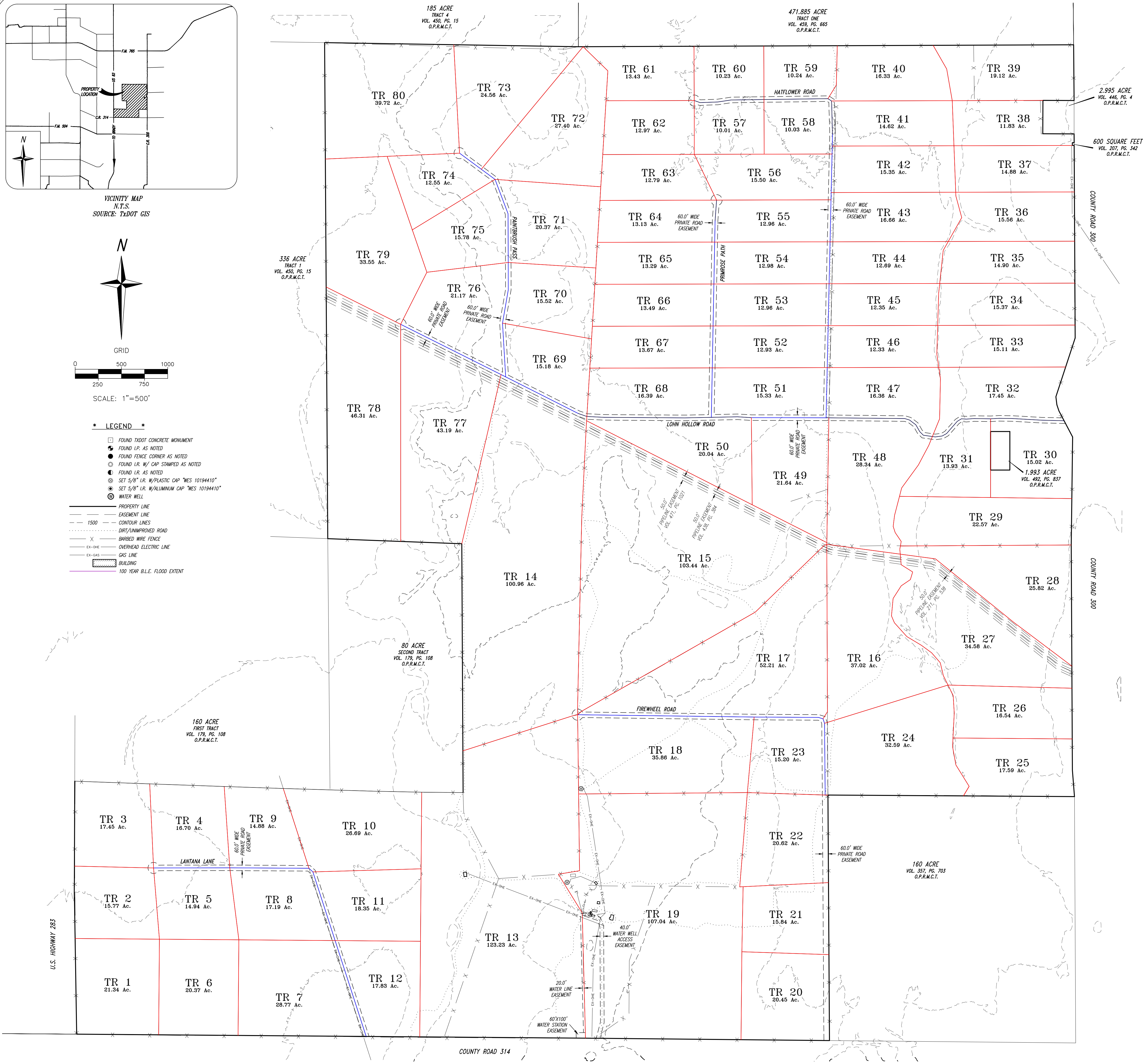
GRID



SCALE: 1"=500'

* LEGEND *

- FOUND TxDOT CONCRETE MONUMENT
- FOUND I.P. AS NOTED
- FOUND FENCE CORNER AS NOTED
- FOUND I.R. W/ CAP STAMPED AS NOTED
- FOUND I.R. AS NOTED
- SET 5/8" I.R. W/ PLASTIC CAP "NES 10194410"
- SET 5/8" I.R. W/ ALUMINUM CAP "NES 10194410"
- WATER WELL
- PROPERTY LINE
- EASEMENT LINE
- 1500'
- CONTOUR LINES
- DIRT/UNIMPROVED ROAD
- BARRIED WIRE FENCE
- OVERHEAD ELECTRIC LINE
- EX-GAS
- GAS LINE
- BUILDING
- 100 YEAR B.L.E. FLOOD EXTENT



LOHN HOLLOW RANCH

Being 1902.08 acres of land as described in a
Warranty Deed with Vendor's Lien from Wolf
Mountain Ranch, LLC to Guadalupe Ranch Company,
LTD as recorded in Volume 521, Page 227 Official
Public Records of McCulloch County, Texas and being
all or parts of the following original patent surveys:

- H. & T.C. RR. Co. Survey, Block No. 60, Survey No. 152, Abstract No. 2173
- H. & T.C. RR. Co. Survey, Block No. 60, Survey No. 152, Abstract No. 2323
- Anton Mueller Survey No. 593, Abstract No. 1046
- Anton Mueller Survey No. 591, Abstract No. 1047
- Anton Mueller Survey No. 590, Abstract No. 1689
- H. & G.N. RR. Co. Survey No. 193, Abstract No. 747
- Hector Basson Survey No. 594, Abstract No. 156
- Hector Basson Survey No. 595, Abstract No. 157

* NOTES *

- THE BASIS OF BEARING FOR THIS SURVEY IS GRID NORTH, BASED UPON RTK/GNSS OBSERVATIONS, REFERENCED TO N.A.D. 83, TEXAS STATE PLANE COORDINATES, CENTRAL ZONE. ADJUSTED TO HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. SCALE = 1:10001866473
- THIS SURVEY MEETS OR EXCEEDS THE TEXAS BOARD OF PROFESSIONAL ENGINEERS & LAND SURVEYORS MINIMUM STANDARDS FOR LAND TITLE SURVEYS.
- THIS TRACT DOES NOT LIE WITHIN THE BOUNDARIES OF A SPECIAL FLOOD HAZARD AREA AS APPROXIMATELY SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP (FIRM) #4812170425A EFFECTIVE 02/19/1982.
- WHERE SURVEYED OR COMPUTED COURSES DIFFER FROM THOSE OF RECORD, THE RECORD COURSE IS EXPRESSED IN PARENTHESIS, I/E, 1680.61' (1680.00'). (COURSE VALUE PER DEED VOL. 01, PG. 02 O.P.R.M.C.T.)
- ORIGINAL SURVEY LINES AND/OR CORNERS SHOWN HEREON ARE APPROXIMATE. ANY ACREAGE SHOWN FOR THE ORIGINAL SURVEYS ARE ALSO APPROXIMATE AND SHOULD NOT BE RELIED UPON AS OFFICIALLY APPROVED QUANTITIES. THE POSSIBILITY OF EXCESS ACREAGE WITHIN THE ORIGINAL SURVEYS SHOWN HEREON IS NOT ADDRESSED BY THIS SURVEY.
- THIS SURVEY, PLAT, DRAWING, OR EXHIBIT DOES NOT REPRESENT NOR INTEND TO REPRESENT A COMPLETE SET OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS. IT IS THE RESPONSIBILITY OF ANY INDIVIDUAL OR ENTITY THAT HAS AN INTEREST IN THIS PROPERTY OR TRACT(S), NOT THE SURVEYOR, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE LOCAL, STATE, AND FEDERAL, LAWS, AND REGULATIONS RELATING BUT NOT LIMITED TO BUILDING, CONSTRUCTION, DEVELOPMENT, IMPROVEMENT, ENVIRONMENTAL IMPACTS, OR ANY OTHER MODIFICATION UPON THE SUBJECT PROPERTY OR TRACT(S).
- THIS EXHIBIT IS THE COMPANION TO A WRITTEN COURSE DESCRIPTION.

BASED ON A FIELD SURVEY CONDUCTED ON THE GROUND BETWEEN
OCTOBER, 2025 THROUGH APRIL, 2025

PRELIMINARY. THIS DOCUMENT
SHALL NOT BE RECORDED FOR
ANY PURPOSE AND SHALL NOT
BE USED OR VIEWED OR
RELIED UPON AS A FINAL
SURVEY DOCUMENT

WELLBORN ENGINEERING & SURVEYING	631 WATER STREET KERRVILLE TX 78028 830-217-7100		wellbornengineering.com FIRM# 10194410 T.B.P.L.L.S.	
	PROJECT:	SCALE:	FIELD:	CHECKED:
	WES: 25-197	1"=500'	WS/NS	EM
	LAST FIELD VISIT: 01.28.2026	LAST DRAFT REVISION: 01.28.2026	SHEET NO. 1 of 1	