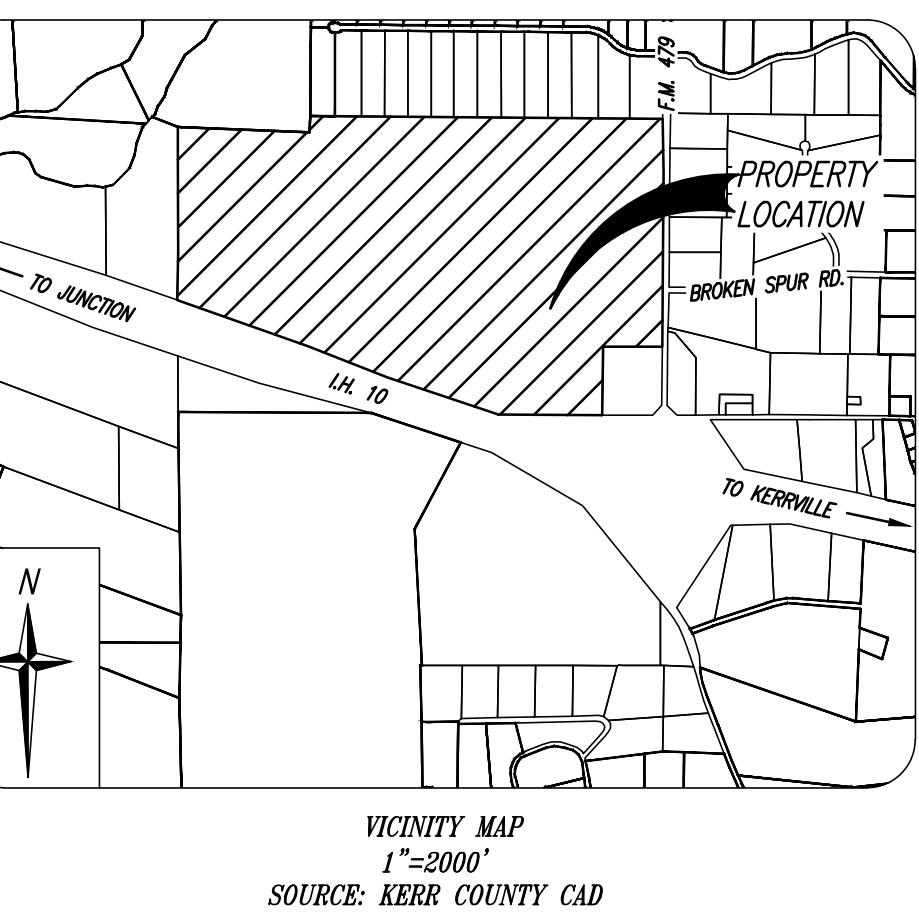


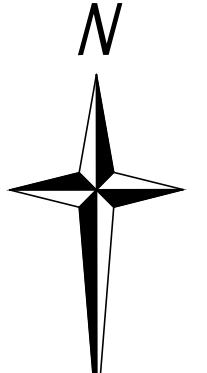
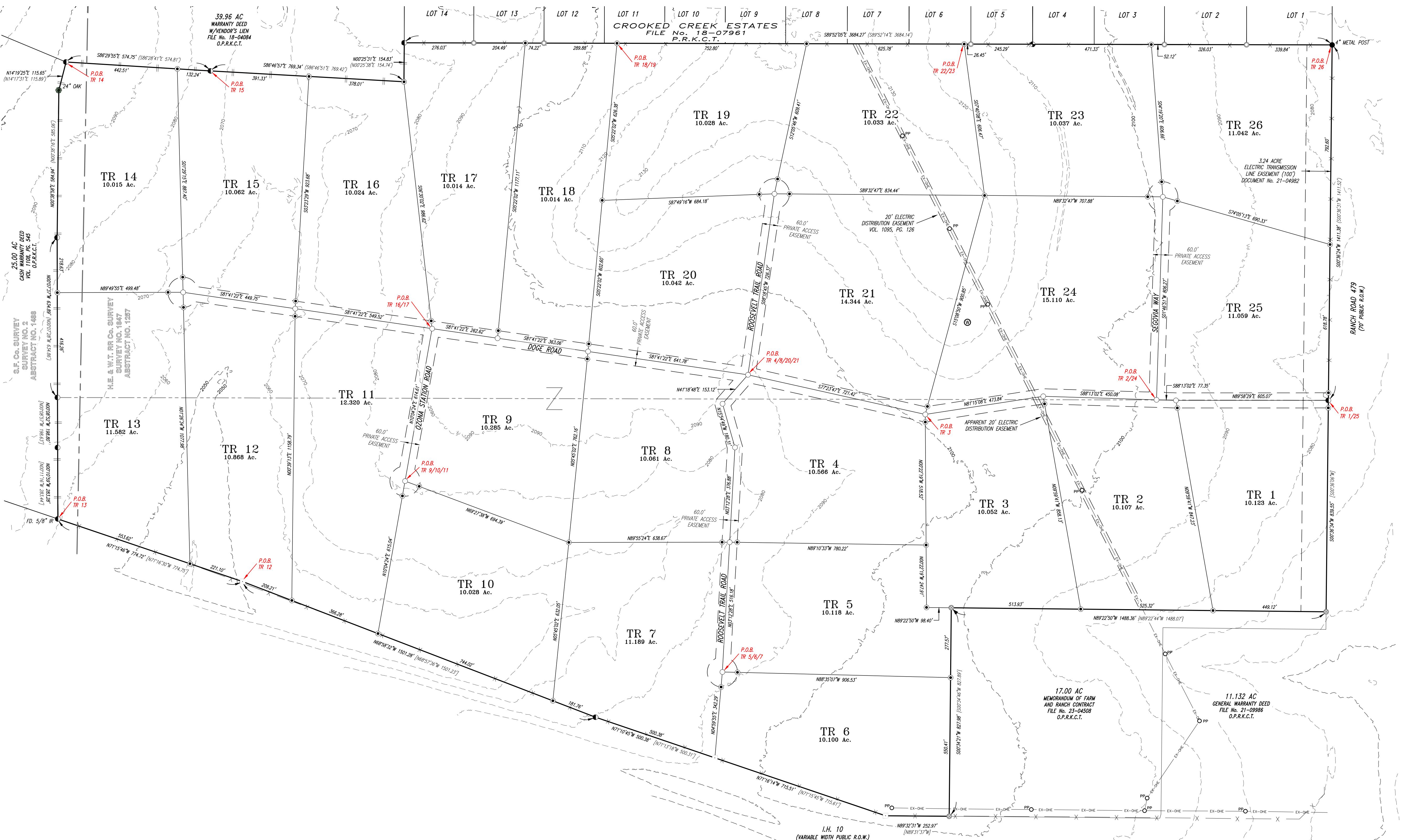
HIGH TEN RANCH

Being 279.23 acres within the S.F. Co. Survey Number 2, Abstract Number 1488 and the H.E. & W.T. RR Co. Survey Number 1847, Abstract Number 1257, Kerr County, Texas and being out of a 159.94 acres tract of land as described in a Warranty Deed from James Bryan Rieger, Individually and as Independent Co- Trustee of the Estate of Annie Josephine Rieger, and Gina Ann Doskocil, Individually and as Independent Co- Trustee of the Estate of Annie Josephine Rieger to David A. Lehmann as recorded in File Number 21-09476 Official Public Records of Kerr County, Texas, and being out of the remainder of a 147.38 acres tract of land as described in a General Warranty Deed from Marguerite Walker to David A. Lehmann recorded in File Number 21-03668 Official Public Records of Kerr County, Texas



1"=2000'
SOURCE: KERR COUNTY CAD

SOURCE: KELIN COUNTY CAD



SCALE: 1"=200'

*** LEGEND ***

- FOUND TXDOT CONCRETE MONUMENT
- FOUND FENCE CORNER AS NOTED
- FOUND 1/2" I.R. W/ CAP STAMPED "VOELK"
- ◎ FOUND 1/2" I.R. W/ CAP STAMPED "CEC 1"
- ◐ FOUND 1/2" I.R. W/ CAP STAMPED "MANSF"
- ◑ FOUND 1/2" I.R. UNLESS OTHERWISE NOTED
- SET 5/8" I.R. W/ALUMINUM CAP STAMPED
- SET 5/8" I.R. W/PLASTIC CAP STAMPED "W"
- PP ○ UTILITY POLE
- W WATER WELL

— PROPERTY LINE

— EASEMENT LINE

— 1700 — CONTOUR LINES

— || — GAME FENCE

— X — BARBED WIRE FENCE

— EX-OHF — OVERHEAD ELECTRIC LINE

*** NOTES ***

FEBRUARY THROUGH MAY, 2025

*** SURVEYOR'S CERTIFICATION ***

REBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED
REGISTERED IN THE STATE OF TEXAS, AND THAT THIS PLAT
ESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION,
ALL DIMENSIONAL DETAILS AND RELATIVE BEARINGS ARE CORRECT AS
SHOWN, ALL EASEMENTS AND RIGHTS OF WAY OF RECORD ARE AS SHOWN,
THERE ARE NO ENCROACHMENTS OR OVERLAPS OF IMPROVEMENTS,
EPT AS NOTED HEREON.

D: MAY 14, 2025

Max Brandenburg, R.P.L.S.
tration No. 5164

AN
BE
RELIED
ON
SURVEY
DO

| | | | | | |
|--|---|-------------------|-----------------|---|-----------------|
| | 631 WATER STREET KERRVILLE TX 78028 830-217-7100 | | | wellbornengineering.com FIRM# 10194410 T.B.P.E.L.S. | |
| ELLBORN <small>ENGINEERING & SURVEYING</small> | PROJECT: WES: 25-010 | SCALE: 1'=200' | FIELD: JS/CM | DRAFTING: BM | CHECKED: GMB |
| | LAST FIELD VISIT: 05.14.2025 LAST DRAFT REVISION: 05.14.2025 | | | SHEET NO. 1 of 1 | |